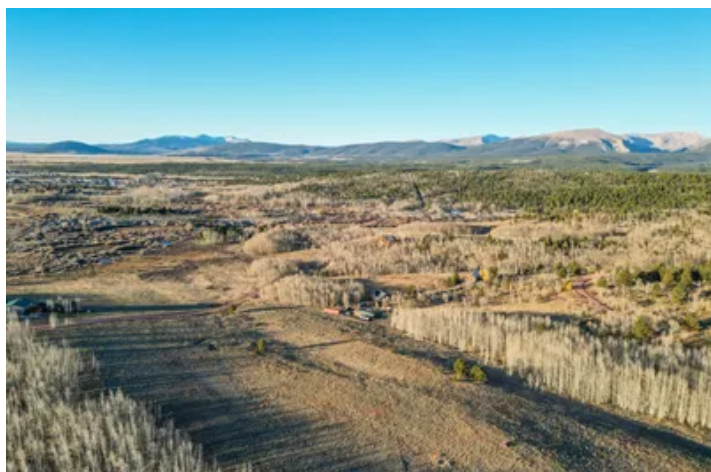


Silverheels Ranch - Lot 155
TBD Canthook Lane
Fairplay, CO 80440

\$210,000
5± Acres
Park County



Silverheels Ranch - Lot 155
Fairplay, CO / Park County

SUMMARY

Address

TBD Canthook Lane

City, State Zip

Fairplay, CO 80440

County

Park County

Type

Undeveloped Land, Lot

Latitude / Longitude

39.240796 / -105.998563

Acreage

5

Price

\$210,000

Property Website

<https://greatplainslandcompany.com/detail/silverheels-ranch-lot-155-park-colorado/92337/>



PROPERTY DESCRIPTION

5-Acre High Alpine Mountain Sanctuary in Silverheels Ranch

Welcome to your private retreat in one of Colorado's most coveted mountain communities. This exceptional 5-acre parcel sits in the prestigious Silverheels Ranch subdivision, nestled at the base of Silverheels Mountain just one mile northeast of charming Fairplay. With stunning panoramic mountain views and excellent southern exposure, this residence enjoys a picturesque setting surrounded by majestic aspen groves and bristlecone pines that define the high alpine landscape.

Silverheels Ranch is an exclusive community of modern mountain homes designed to harmonize with nature while providing the comforts and connectivity today's lifestyle demands. Residents enjoy an unparalleled standard of living, with direct access to two privately maintained fishing lakes perfect for recreation and relaxation. Adventure awaits at your doorstep with easy access to Pike National Forest, offering endless opportunities for hiking, outdoor exploration, and nature immersion.

This prime residential-zoned parcel boasts exceptional location benefits: just 30 minutes to world-class skiing at Breckenridge, yet secluded enough to offer genuine peace and privacy. A true mountain rarity, Silverheels Ranch features high-speed fiber internet through Highline Internet, ensuring you never sacrifice connectivity for serenity and electricity is available at the road.

Build your mountain dream home on this spectacular acreage and join a thoughtful community that values nature, privacy, and the authentic Colorado mountain lifestyle. This is where panoramic vistas meet modern amenities in perfect harmony.

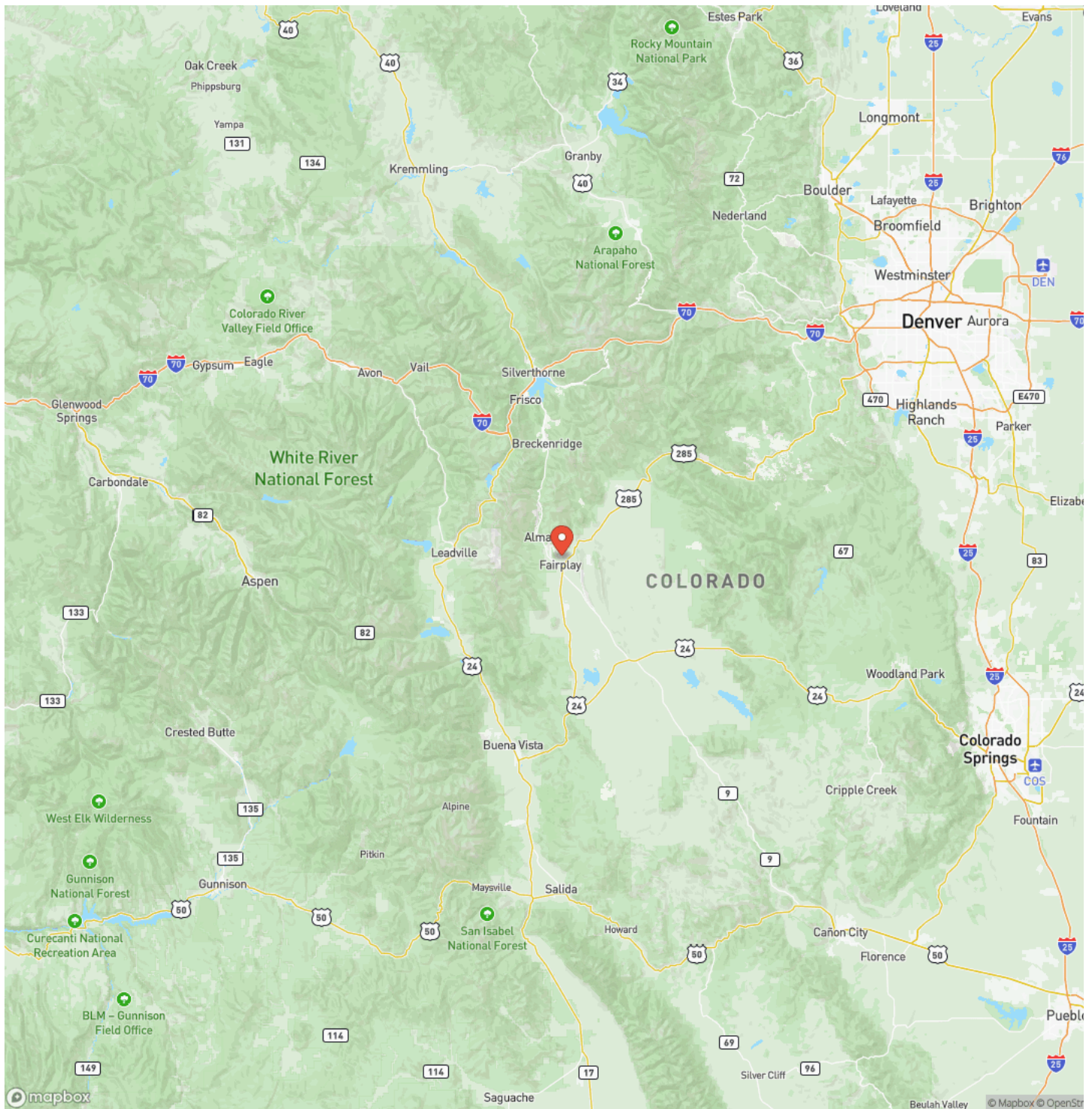
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Locator Map



Locator Map



Satellite Map



LISTING REPRESENTATIVE

For more information contact:



Representative

Ethan Janicki

Mobile

(303) 963-6738

Email

ethan@greatplains.land

Address

3460 E. Nielsen Ln

City / State / Zip

NOTES

This image shows a blank sheet of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.

[illegible]

MORE INFO ONLINE:
greatplainslandcompany.com

DISCLAIMERS

Information in this brochure is provided solely for information purposes and does not constitute an offer to sell or advertise real estate outside the states in which broker or agent licensed. The information presented has been obtained from sources deemed to be reliable, but is not guaranteed or warranted by the agent, broker, or the sellers of these properties. This offering is subject to errors, omissions, prior sale, price change, correction or withdrawal from the market without notice. All references to age, square footage, income, expenses, acreage, carrying capacity, and land classification, etc. are approximate. Prospective buyers are chargeable with and expected to conduct their own independent investigation of the information and the property and to rely only on those results. Sellers reserve the right to accept or reject any and all offers without liability to any buyer or cooperating broker.

Maps are provided for illustration purposes only, the accuracy is not warranted. Parcels on interactive maps are not adjusted to match aerial backgrounds. This information is for reference purposes only and is not a legal document. Data maps contain errors. The seller and seller's agent are making known to all potential buyers that there may be variations between the location of the existing fence lines and the legal description of the deeded property. Seller and seller's agent make no warranties with regard to the location of the fence lines in relationship to the deeded property lines, nor does the Seller make any warranties or representations with regard to the specific acreage contained within the fenced property lines. Seller is selling the property in an "as is" condition, which includes the location of the fences as they exist. Boundaries shown on the accompanying maps are approximate, based on county parcel data. The maps are not to scale. The accuracy of the maps is not guaranteed. Prospective buyers are encouraged to verify fence lines, deeded property lines and acreages using a licensed surveyor at their own expense.



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