

Fort Steele - 155  
TBD County Road 347  
Fort Steele, WY 82301

**\$248,800**  
155.460± Acres  
Carbon County





**Fort Steele - 155**  
**Fort Steele, WY / Carbon County**

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**SUMMARY**

**Address**

TBD County Road 347

**City, State Zip**

Fort Steele, WY 82301

**County**

Carbon County

**Type**

Hunting Land, Business Opportunity, Lot, Horse Property, Commercial, Undeveloped Land, Recreational Land, Ranches

**Latitude / Longitude**

41.766107 / -106.949438

**Acreage**

155.460

**Price**

\$248,800

**Property Website**

<https://greatplainslandcompany.com/detail/fort-steele-155-carbon-wyoming/96855/>



## **PROPERTY DESCRIPTION**

### **155+ Acre Wyoming Land Opportunity Near Historic Fort Steele**

Discover 155.46 acres of wide-open Wyoming landscape in Carbon County, where history meets opportunity. This expansive parcel offers the perfect canvas for your vision of rural living, recreation, or investment in the heart of the American West.

### **Location & Access**

Conveniently positioned just half a mile from Interstate 80, this property provides easy highway access while maintaining the peace and privacy of rural Wyoming. County Road 347 runs directly through the property from north to south, ensuring year-round accessibility. The land sits in a prime location near Fort Steele, with Sinclair just 10 minutes away and Rawlins a quick 20-minute drive for shopping, services, and amenities.

### **Distinctive Features**

The property boasts an enviable position bordering the historic Fort Steele Historic Site along its northern boundary—a rare opportunity to own land adjacent to this fascinating piece of Wyoming heritage. Enjoy stunning views of the North Platte River valley and the surrounding high plains landscape that defines this region.

With 240 acres of BLM public land bordering the western boundary, your recreational opportunities extend far beyond the property lines. The North Platte River - Fort Steele/Rochelle Public Access Area lies just across the highway, offering immediate access to some of Wyoming's finest fishing, wildlife viewing, and outdoor recreation.

### **Development Potential**

Power lines already run along County Road 347, making this an exceptional homestead opportunity. Whether you're envisioning a ranch headquarters, weekend retreat, or simply want to secure your piece of the West, the infrastructure is in place to bring your plans to life.

Important Note: The buildings visible in photographs and video are NOT included with this property. Please refer to the detailed property map for boundary information.

### **Why Carbon County?**

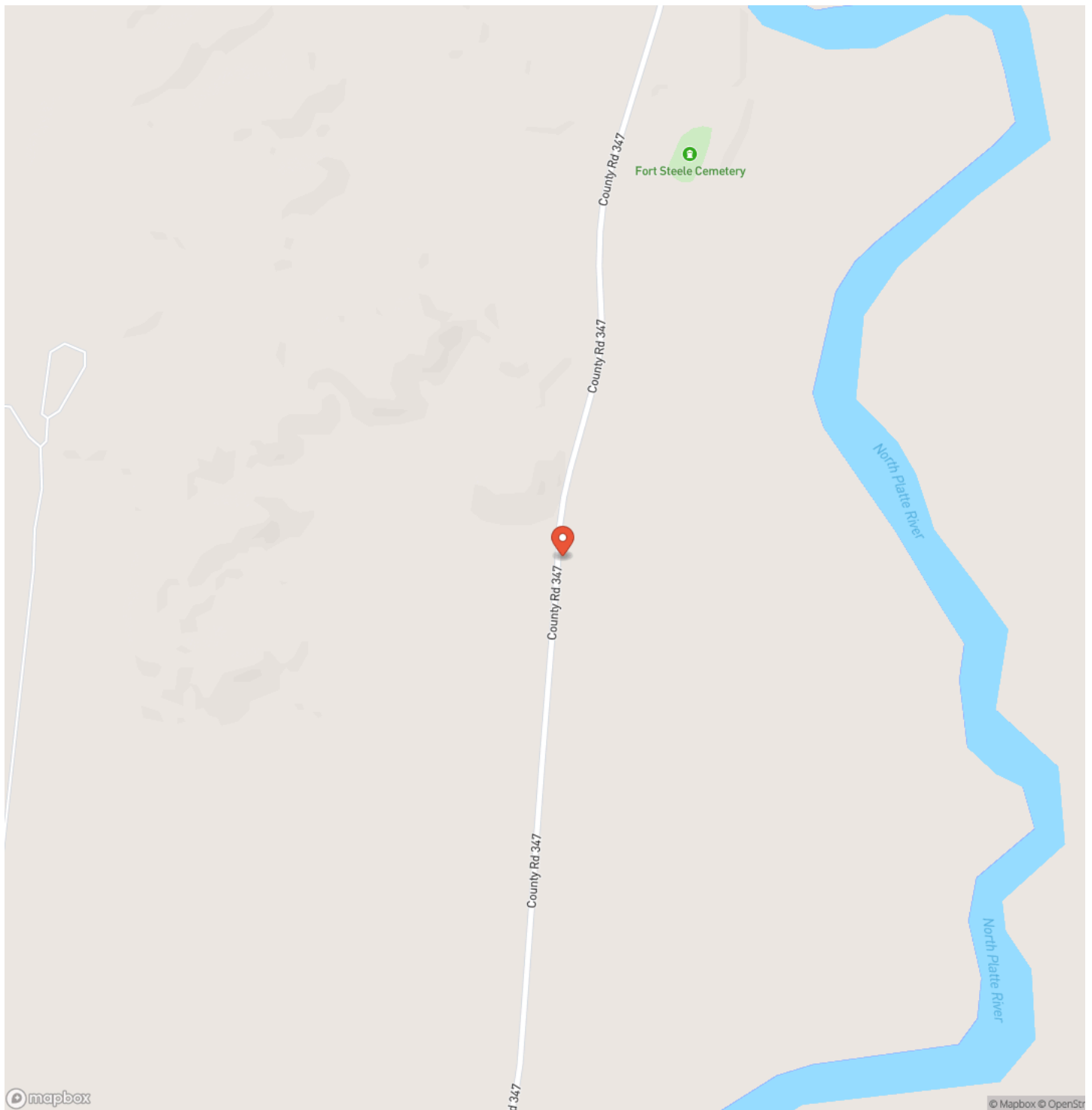
Experience the freedom of wide-open spaces, minimal light pollution for spectacular stargazing, abundant wildlife, and the independent spirit that defines Wyoming living. With no state income tax and minimal development restrictions, Wyoming offers lifestyle and financial advantages that are hard to match.

The details provided have been gathered from sources deemed trustworthy, but their accuracy and completeness have not been independently verified. Great Plains Land Company offers no assurances, warranties, or guarantees regarding the information presented. Great Plains Land Company bears no responsibility or liability for any inaccuracies, omissions, or reliability issues within this content. It is strongly advised that you perform your own thorough, independent investigation of the property and confirm all information yourself. Any decision to rely on this information is made entirely at your own discretion and risk.

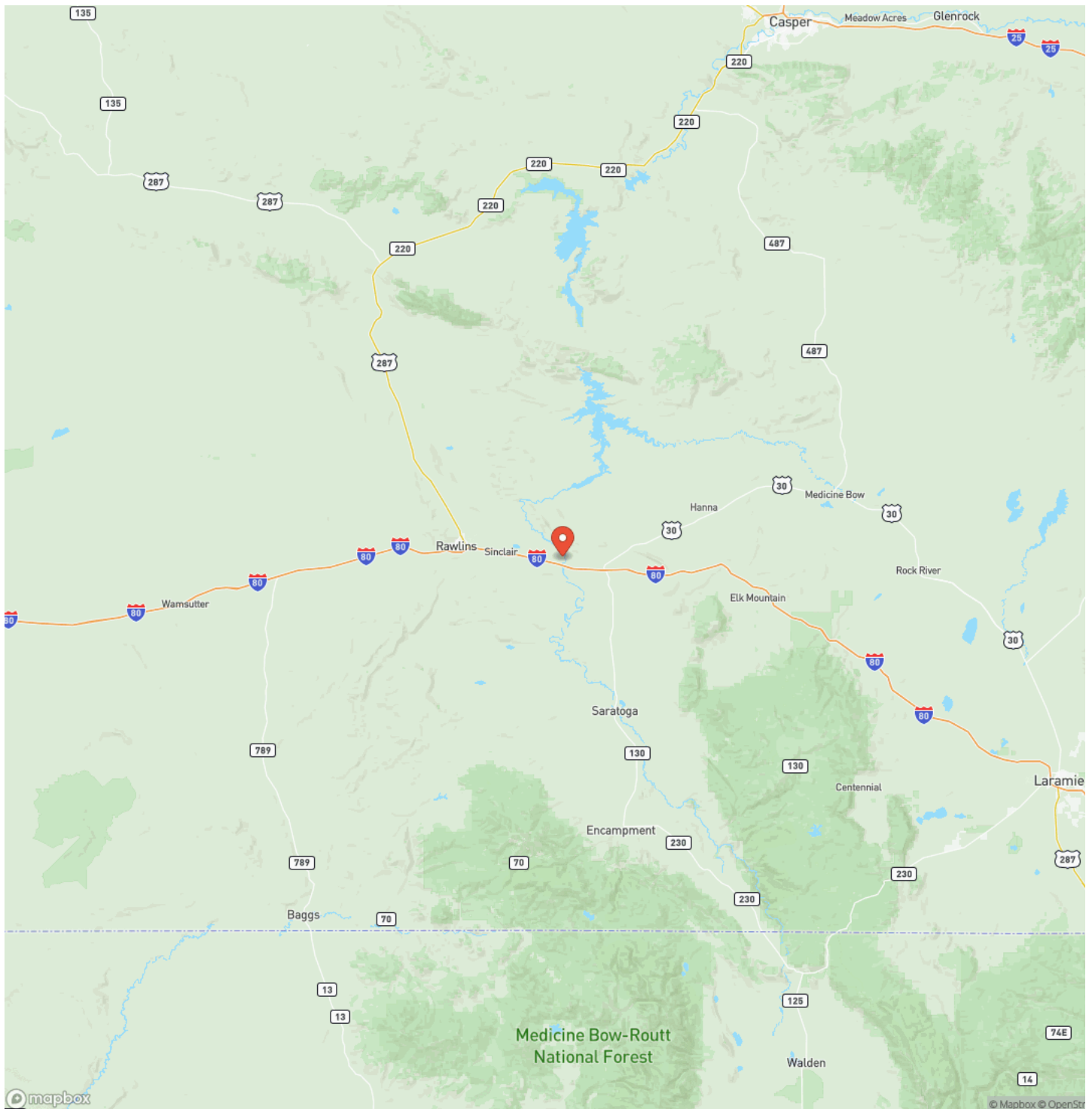




## Locator Map



## Locator Map





## Satellite Map



## LISTING REPRESENTATIVE

**For more information contact:**



### Representative

Ethan Janicki

## Mobile

(303) 963-6738

## Email

ethan@greatplains.land

## Address

3460 E. Nielsen Ln

City / State / Zip

## NOTES



## This image shows a single sheet of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.



**MORE INFO ONLINE:**  
**greatplainslandcompany.com**

## **DISCLAIMERS**

Information in this brochure is provided solely for information purposes and does not constitute an offer to sell or advertise real estate outside the states in which broker or agent licensed. The information presented has been obtained from sources deemed to be reliable, but is not guaranteed or warranted by the agent, broker, or the sellers of these properties. This offering is subject to errors, omissions, prior sale, price change, correction or withdrawal from the market without notice. All references to age, square footage, income, expenses, acreage, carrying capacity, and land classification, etc. are approximate. Prospective buyers are chargeable with and expected to conduct their own independent investigation of the information and the property and to rely only on those results. Sellers reserve the right to accept or reject any and all offers without liability to any buyer or cooperating broker.

Maps are provided for illustration purposes only, the accuracy is not warranted. Parcels on interactive maps are not adjusted to match aerial backgrounds. This information is for reference purposes only and is not a legal document. Data maps contain errors. The seller and seller's agent are making known to all potential buyers that there may be variations between the location of the existing fence lines and the legal description of the deeded property. Seller and seller's agent make no warranties with regard to the location of the fence lines in relationship to the deeded property lines, nor does the Seller make any warranties or representations with regard to the specific acreage contained within the fenced property lines. Seller is selling the property in an "as is" condition, which includes the location of the fences as they exist. Boundaries shown on the accompanying maps are approximate, based on county parcel data. The maps are not to scale. The accuracy of the maps is not guaranteed. Prospective buyers are encouraged to verify fence lines, deeded property lines and acreages using a licensed surveyor at their own expense.





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**Great Plains Land Company**  
501 N. Walker St.  
Oklahoma City, OK 73102  
(405) 255-0051  
[greatplainslandcompany.com](http://greatplainslandcompany.com)

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